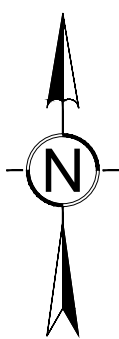


SECTION 18, TOWNSHIP 32 NORTH, RANGE 4 EAST



SCALE: NTS

AC	APPROXIMATELY	G	GAS	R	RADIUS
APWA	AMERICAN PUBLIC WORKS ASSOCIATION	GRVL	GRAVEL	RCW	REVISED CODE OF WASHINGTON
ARCH	ARCHITECTURAL	GV	GAS VALVE	ROW	RIGHT-OF-WAY
ASPH	ASPHALT	H	HEIGHT	RHT	RIGHT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	HDPE	HIGH DENSITY POLYETHYLENE	S	SOUTH
AVE	AVENUE	HORIZ	HOT MIX ASPHALT HORIZONTAL	SCH	SCHED CEPTOR
BLDG	BUILDING	ID	INSIDE DIAMETER	SD	SCHEDULE
BMP	BEST MANAGEMENT PRACTICE	IN	INVERT ELEVATION	SDMH	STORM DRAIN
BG	BOTTOM OF GRADE	INCH	INCH	SDR	STORM DRAIN MANHOLE
BTM	BOTTOM OF PIPE	L	LENGTH	SDR	STANDARD DIMENSION RATIO
BW	BOTTOM OF WALL	LA	LATITUDE	SF	SQUARE FEET
¢	CENTERLINE	LF	LINEAR FEET	SPECS	SPECIFICATIONS
CB	CATCH BASIN	LN	LONGITUDE	SQ YD	SQUARE YARD
CF	CUBIC FEET	LON	LONGITUDE	SS	SANITARY SEWER
CL	CAST IRON	LT	LEFT	SSCO	SANITARY SEWER CLEANOUT
CMP	CORRUGATED METAL PIPE	MAX	MAXIMUM	ST	STREET
CN	CLEAN OUT	MH	MANHOLE	STA	STATION
CONC	CONCRETE	MIN	MINIMUM	STD	STANDARD
CPEP	CORRUGATED POLYETHYLENE PIPE	MISC	MISCELLANEOUS	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
CR	CROWN OF PIPE	MJ	MECHANICAL JOINT	T	TELEPHONE
CSTC	CRUSHED SURFACING TOP COURSE	MON	MONUMENT	TC	TOP OF CURB
DEPT	DEPARTMENT	N	NORTH	TEMP	TEMPORARY
DI	DUCTILE IRON	NC	NO CURB	TESC	TEMPORARY EROSION & SEDIMENT CONTROL
E	EAST	NO	NO NUMBER	TE	TEMPORARY EROSION & SEDIMENT CONTROL
EA	EACH	NTS	NOT TO SCALE	TP	TOP OF PAVEMENT
EG	EXISTING GRADE	OC	ON CENTER	TW	TOP OF WALL
ELEV	ELEVATION	OD	OUTSIDE DIAMETER	TYT	TYPICAL
ESC	EXISTING GRADE	OFF	OFFSET	UG	UNDER GROUND
EXIST	EXISTING	PC	POINT OF CURVATURE	UIC	UNDER GROUND INJECTION CONTROL
FFG	FINISH FLOOR ELEVATION	PCC	POINT OF COMPOUND CURVE	U.O.N.	UNLESS OTHERWISE NOTED
FL	FINISHED GRADE	PI	POINT OF INTERSECTION	UP	UTILITY POLE
FL	FINISHED GRADE	PL	PROPERTY LINE	V	VERTICAL
FL	FINISHED GRADE	PP	POWER POLE	W	WEST
FL	FINISHED GRADE	PROP	PROPOSED	W	WITH
FL	FINISHED GRADE	PT	POINT OF TANGENCY	WAC	WASHINGTON ADMINISTRATIVE CODE
FL	FINISHED GRADE	PVC	POLYVINYL CHLORIDE	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
FL	FINISHED GRADE	PVMT	PAVEMENT	WV	WATER VALVE
FL	FINISHED GRADE			YD	YARD DRAIN

LOTS 1 AND 2 OF SHORT PLAT NO. ZA9007384SP RECORDED UNDER AUDITOR'S FILE NUMBER 9106140048, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 32 NORTH, RANGE 4 EAST, W.M.

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 2 OF SHORT PLAT ZA9007384SP, BEING ALSO THE NORTHEAST CORNER OF LOT 18, TOWNSHIP 32 NORTH, RANGE 4 EAST, BEING ALSO THE NORTHEAST QUARTER OF SECTION 198, TOWNSHIP 32 NORTH, RANGE 4 EAST, W.M.;

LESS THE WEST 30.00 FEET THEREOF;

THENCE NORTH 01° 13'02" EAST ALONG THE WEST BOUNDARY A DISTANCE OF 19.64 FEET TO AN EXISTING WOOD FENCE;

THENCE SOUTH 87°48'17" EAST ALONG SAID FENCE A DISTANCE OF 610.22 FEET;

THENCE SOUTH 87°56'04" EAST ALONG SAID FENCE A DISTANCE OF 610.31 FEET TO A POINT ON THE EAST BOUNDARY OF SAID SUBDIVISION, BEING 12.38 FEET NORTH OF THE NORTH LINE OF THE SOUTH 198.00 FEET OF SAID SUBDIVISION;

THENCE SOUTH 00°21'31" WEST ALONG THE EAST LINE OF SAID SUBDIVISION A DISTANCE OF 12.28 FEET TO THE NORTH LINE OF THE SOUTH 198.00 FEET OF SAID SUBDIVISION;

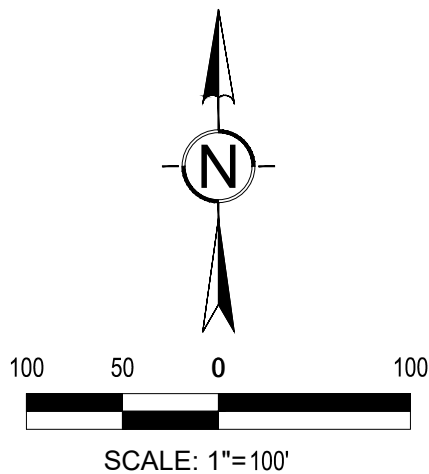
THENCE NORTH 88°12'55" WEST ALONG THE NORTH LINE OF SAID SOUTH 198.00 FEET A DISTANCE OF 1220.62 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

LEGAL DESCRIPTION IS FROM ALTA SURVEY RECORD UNDER AUDITOR'S FILE NUMBER 201110255005. NO TITLE REPORT OR SUBDIVISION GUARANTEE WAS ORDERED OR PROVIDED FOR THIS SURVEY.

BASIS OF BEARING: PREVIOUS ALTA SURVEY ALONG THE NORTH QUARTER SECTION LINE, RECORDED UNDER AUDITOR'S FILE NUMBER 201110255005. BEARING S 87°58'34" E

DATUM: NAVD88 FROM RTK GPS
DATUM CONVERSION: NAVD88(FT) - 3.67 FT = NGVD29(FT)



LOT 1 OF SHORT PLAT NO. ZA9007384SP RECORDED UNDER AUDITOR'S FILE NUMBER 9106140048, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 32 NORTH, RANGE 4 EAST, W.M.

EXCEPT THAT PORTION OF SAID LOT 1, LYING WEST OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT A POINT ON THE LINE COMMON TO LOT 1 AND LOT 2, POINT BEARING NORTH 89°38'29" WEST, 249.06 FEET FROM THE SOUTHEAST CORNER OF LOT 1 AND THE NORTHEAST CORNER OF LOT 2;
THENCE NORTH 27°41'00" WEST, 399.44 FEET;
THENCE NORTH 2°01'26" EAST, 195.27 FEET MORE OR LESS TO A POINT BEARING NORTH 87°58'34" WEST, 431.36 FEET FROM THE NORTHEAST CORNER OF SAID LOT 1, AND POINT BEING 35 FEET SOUTH OF THE NORTH LINE OF SAID NORTHEAST QUARTER, AND TERMINUS OF SAID LINE.
SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

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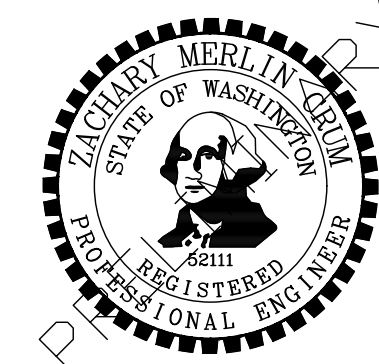
SURVEYOR
SEMRAU ENGINEERING
AND SURVEYING, PLLC
CONTACT: JOHN SEMRAU
PHONE: 306.424.9566
EMAIL: JOHN@SEMRAU.COM

SITE AREAS			
DESCRIPTION	PHASE 1 QUANTITY	PHASE 2 QUANTITY	TOTAL QUANTITY
NEW PGHS	32,467 SF	0 SF	32,467 SF
REPLACED PGHS	1,436 SF	0 SF	1,436 SF
NEW & REPLACED PGHS	33,903 SF	0 SF	33,903 SF
NEW NPGHS	24,693 SF	22,135 SF	46,828 SF
REPLACED NPGHS	0 SF	0 SF	0 SF
NEW & REPLACED NPGHS	24,693 SF	22,135 SF	46,828 SF
NEW HARD SURFACE	57,160 SF	22,135 SF	79,295 SF
REPLACED HARD SURFACE	1,436 SF	0 SF	1,436 SF
NEW & REPLACED HARD SURFACE	58,596 SF	22,135 SF	80,731 SF
AREA OF DISTURBANCE	86,924 SF	36,282 SF	123,206 SF



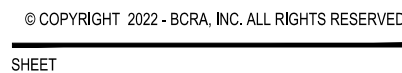
SNOHOMISH COUNTY PROJECT FILE NO: 22 102230 CUP

IF SHEET MEASURES LESS THAN 24"X36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.



PROJECT _____
RESIDENTIAL TREATMENT FACILITY NORTH

DATE	
06.24.2022	
DRAWN BY: RJB	
DESIGNED BY: MB	
REVIEWED BY: ZMC	
SHEET TITLE	
COVER SHEET	



C-001

LAND USE SUBMITTAL

BCRA GENERAL NOTES:

- ALL WORK, MATERIALS, AND TESTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION ISSUED PRIOR TO BID DATE OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (WSDOT STD. SPEC.). DELETE MEASUREMENT AND PAYMENT PROVISIONS, AND WSDOT STANDARD PLANS (WSDOT STD. PLANS), EXCEPT AS MODIFIED BY THE CONTRACT DOCUMENTS. ALL REFERENCES TO OTHER STANDARDS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION ISSUED PRIOR TO BID DATE.
- EXISTING TOPOGRAPHY AND BOUNDARY INFORMATION PROVIDED BY SEMRAU ENGINEERING & SURVEYING, PLLC DATED 12/17/2021.
- CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO UNDERTAKING THE AFFECTED WORK.
- ANY DISCREPANCY IN THESE DRAWINGS, SPECIFICATIONS, AND/OR THE SITE CONDITIONS SHALL BE REPORTED TO THE ENGINEER, WHO SHALL ADDRESS SUCH DISCREPANCY IN WRITING AFTER REVIEWING ANY CHANGES. ANY WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK. VERIFY AND COORDINATE THE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK.
- BURIED UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION. PRIOR TO INSTALLATION OF ANY PROJECT IMPROVEMENTS, VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES. IN THE EVENT OF ANY DISCREPANCY FROM THE INFORMATION PRESENTED ON THESE PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - THE LOCATION OF EXISTING UTILITIES SHOWN MAY DIFFER FROM ACTUAL LOCATION. CONTRACTOR SHOULD NOT ASSUME UTILITIES SHOWN WILL BE THE ONLY UTILITIES/OBSTACLES THAT MAY BE PRESENT ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO UTILITY PURVEYORS REGARDING DEMOLITION AND REMOVAL OF SERVICE LINES AND CAP LINES BEFORE PROCEEDING WITH FURTHER WORK.
- AS-BUILT RECORDS: KEEP THREE SETS OF DRAWINGS ONSITE AT ALL TIMES FOR RECORDING AS-BUILT INFORMATION. ONE SET SHALL BE PROVIDED TO THE ENGINEER AND ONE TO SNOHOMISH COUNTY AFTER CONSTRUCTION IS COMPLETE. ONE ELECTRONIC SET OF AS-BUILT DRAWINGS IN PORTABLE DOCUMENT FORMAT (PDF) MAY BE PROVIDED IN LIEU OF MULTIPLE COPIES.
- AFTER CONSTRUCTION OF THE FOLLOWING ITEMS, CONTRACTOR SHALL HIRE SURVEYOR TO COLLECT AS-BUILT AND SHALL PROVIDE IN AUTOCAD AND PDF FORMAT TO THE ENGINEER FOR REVIEW:
 - STORM AND/OR SANITARY SEWER STRUCTURE LOCATIONS (STATION AND OFFSET IF APPLICABLE) INVERT AND RIM ELEVATIONS TO THE NEAREST 0.01 FOOT.
 - DRIVEWAY/ROAD CENTERLINE AND GUTTER PROFILES AT BEGINNING AND ENDING STATIONS AND END OF RADI.
 - WATER SYSTEM LOCATION (VALVES, FIRE HYDRANTS, ETC.) TO THE NEAREST 0.10 FEET.
 - ACCESSIBLE CURB RAMPS AND ACCESSIBLE PARKING STALLS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DEVELOPING, EXECUTING AND ENFORCING A SAFETY PLAN TO PROTECT WORKERS AND THE PUBLIC FROM INJURY OR HARM. THE PLAN SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL REGULATIONS AND INCLUDE THE FOLLOWING:
 - CONTRACTOR SHALL CONSULT WITH THEIR OWN GEOTECHNICAL ENGINEERING EXPERT FOR DETERMINING SOIL CLASSIFICATION RELATIVE TO SAFE SLOPING OF SOILS.
 - CONTRACTOR SHALL DETERMINE SAFE EXCAVATION AND DEWATERING METHODS, MONITOR EXCAVATIONS AND EARTHWORK OPERATIONS FOR SAFETY CONCERNS AND PROVIDE SHORING AND OTHER PROTECTION AS REQUIRED TO PROTECT WORKERS.
 - IT IS NOT THE INTENT OF THE CONSTRUCTION DOCUMENTS TO DICTATE ANY UNSAFE CONSTRUCTION MEANS OR METHODS; CONTRACTOR SHALL DETERMINE MEANS AND METHODS OF CONSTRUCTION CONFORMING TO THEIR SAFETY PLAN AS REQUIRED TO CONSTRUCT WORK SHOWN ON THE CONTRACT DOCUMENTS.
- PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, AND/OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES; COORDINATE MEASURES WITH OWNER, DEPT. OF CORRECTIONS ON-SITE REPRESENTATIVE, AND THURSTON COUNTY.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES FOR THE DURATION OF THE PROJECT.

BCRA TESC NOTES:

- THIS PROJECT REQUIRES COVERAGE UNDER THE WASHINGTON STATE CONSTRUCTION STORMWATER GENERAL PERMIT; CONTRACTOR MUST MAINTAIN A COPY OF THE LATEST SAID PERMIT AND IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH SAID PERMIT.
- REVIEW THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REPORT INCLUDED IN THE BID DOCUMENTS.
- EROSION AND SEDIMENT CONTROL (ESC) MEASURES SHALL BE IN PLACE PRIOR TO THE BEGINNING OF GROUND DISTURBING ACTIVITIES.
- ESC MEASURES ARE NOT LIMITED TO THE ITEMS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL ESC MEASURES. SILTATION OF EXISTING OR PROPOSED DRAINAGE FACILITIES SHALL NOT BE ALLOWED.
- THE CONTRACTOR SHALL MAKE A DAILY SURVEILLANCE OF ALL ESC MEASURES AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL ESC MEASURES AS DETERMINED NECESSARY BY THE PROJECT ENGINEER, OWNER OR INSPECTOR. FAILURE TO COMPLY WITH ALL LOCAL AND STATE ESC REQUIREMENTS MAY RESULT IN CIVIL PENALTIES BEING LEVIED AGAINST THE CONTRACTOR.
- DURING THE WET SEASON (OCTOBER 1st THROUGH APRIL 30th), ALL DISTURBED SOILS SHALL BE STABILIZED WITHIN 48 HOURS AFTER STOP OF WORK. DURING THE DRY SEASON (MAY 1st THROUGH SEPTEMBER 30th), ALL SOILS THAT WILL BE UNCOVERED OR UNWORKED FOR 7 DAYS SHALL BE COVERED OR STABILIZED. STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO COVERING THE AFFECTED AREA (INCLUDING SPOIL PILES) WITH PLASTIC SHEETING, STRAW MATTING, JUTE MATTING, STRAW MULCH OR WOOD CHIPS. SEEDING OF THE DISTURBED AREAS SHALL TAKE PLACE AS WEATHER PERMITS.
- TRENCH DEWATERING DEVICES SHALL BE DISCHARGED IN A MANNER THAT WILL NOT ADVERSELY AFFECT STREAMS, DRAINAGE SYSTEMS, OR OFFSITE PROPERTIES.
- STORM SEWER INLETS RECEIVING RUNOFF FROM THE PROJECT DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL BE FILTERED BEFORE ENTERING THE CONVEYANCE SYSTEM.
- ALL CATCH BASINS IMMEDIATELY ADJACENT TO AND DOWNSTREAM WITHIN 500 FEET OF THE PROPOSED PROJECT SITE SHALL BE PROTECTED FROM SILTATION.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED UPON COMPLETION OF THE WORK. THE CONTRACTOR SHALL ENSURE THAT COMPLETE COVERAGE OF THE DISTURBED AREAS IS PROVIDED AND THAT GROWTH OF THE VEGETATION IS ESTABLISHED.

BCRA DEMOLITION NOTES:

- THE DEMOLITION SHOWN IS NOT INTENDED TO BE AN EXHAUSTIVE LIST OF ITEMS TO BE DEMOLISHED. DEMOLITION NOTES ARE FOR CLARIFICATION ONLY AND ARE SHOWN FOR THE CONTRACTOR'S BENEFIT. DEMOLISH, REMOVE AND LEGALLY DISPOSE OF ALL EXISTING IMPROVEMENTS NECESSARY TO ACCOMMODATE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- ALL CONSTRUCTION MATERIALS SHALL BE NEW EXCEPT FOR THOSE IDENTIFIED TO BE RELOCATED ON THE PLANS. RESTORE ANY ITEMS DAMAGED DURING CONSTRUCTION TO THE PRECONSTRUCTION CONDITION.
- REMOVE ALL EXISTING UTILITIES WITHIN 10 FEET OF THE BUILDING PAD AND BUILDING APPURTENANCES. PIPES THAT WILL SERVE NO PURPOSE WITH THIS PROPOSED PROJECT WITH MORE THAN 3' OF COVER IN THE FINAL CONDITION AND DO NOT CONFLICT WITH NEW UTILITIES, STRUCTURES, ETC. MAY BE DECOMMISSIONED AND ABANDONED IN PLACE. ABANDONED UTILITY PIPES MAY BE FILLED WITH SAND, GROUTED AND CAPPED. BACKFILL TRENCHES AND COMPACT TO 95% MAX DRY DENSITY, UNLESS OTHERWISE NOTED. OTHERWISE COORDINATE WITH UTILITY PURVEYORS TO ADDRESS CONNECTIONS AT MAINS IN ACCORDANCE WITH UTILITY PURVEYOR STANDARDS.
- LIMITS OF DISTURBANCE MAY BE SHOWN PAST THE PROPERTY LINE FOR CLARITY. LAND DISTURBING ACTIVITY SHOULD NOT EXTEND ONTO ADJACENT PROPERTIES UNLESS OTHERWISE NOTED.

BCRA SITE AND SURFACING NOTES:

- ALL DIMENSIONS ARE TO BOTTOM FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- REFER TO LANDSCAPE PLANS FOR CONCRETE JOINTING LAYOUT IN FRONT ENTRY AREA AND ENCLOSURE AREAS. ALL OTHER CONCRETE JOINTING LAYOUT SHALL BE PER CIVIL PLANS.
- REFER TO ARCHITECTURAL PLANS FOR FENCING AND ENCLOSURE DETAILS.
- ALL STATION OFFSETS SHOWN ON THESE PLANS REFER TO THE CONSTRUCTION ALIGNMENT IDENTIFIED ON THE PLAN.

BCRA UTILITY NOTES:

- FIRE PROTECTION LINES AND STRUCTURES ARE SHOWN FOR BIDDING AND FOR REFERENCE ONLY.
- FIRE PROTECTION DESIGN SHALL BE COMPLETED BY FIRE PROTECTION ENGINEER IN ACCORDANCE WITH WAC 212-80: PIPE SHALL BE DUCTILE IRON (DI) IN ACCORDANCE WITH WSDOT STD. SPEC. 7-08 WITH RESTRAINED JOINTS FOR ENTIRE LENGTH. FIRE SERVICE LINE SIZE SHALL BE VERIFIED BY CONTRACTOR'S FIRE PROTECTION ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR INSTALLATION AND MODIFICATION OF THE UNDERGROUND SPRINKLER SYSTEM SUPPLY LINE BEYOND THE WATER MAIN, INCLUDING THE UNDERGROUND FIRE DEPARTMENT CONNECTION (FDC) PIPING. ALL WORK SHALL COMPLY WITH THE LATEST INTERNATIONAL FIRE CODE (IFC) AS AMENDED BY WASHINGTON STATE, SNOHOMISH COUNTY AND NFPA 24.
- PROPOSED POWER / COMMUNICATION LINE ROUTING AND POLE LOCATIONS SHOWN FOR REFERENCE ONLY. REFER TO ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS.
- INSTALL PIPES IN ACCORDANCE WITH WSDOT STD. SPEC. 7-08 AND TRENCH SECTION DETAIL.
- REFER TO MECHANICAL PLUMBING AND ELECTRICAL PLANS FOR HORIZONTAL AND VERTICAL LOCATION OF UTILITY STUBS FROM BUILDING.
- PROVIDE AND TEST SANITARY SEWERS IN ACCORDANCE WITH SNOHOMISH COUNTY DEVELOPMENT STANDARDS FOR WATER AND SEWER SYSTEMS.
- PROVIDE AND TEST WATER MAINS IN ACCORDANCE WITH SNOHOMISH COUNTY DEVELOPMENT STANDARDS FOR WATER AND SEWER SYSTEMS.
- PROVIDE AND TEST WATER SERVICES IN ACCORDANCE WITH SNOHOMISH COUNTY DEVELOPMENT STANDARDS FOR WATER AND SEWER SYSTEMS.

POST CONSTRUCTION SOIL AMENDMENTS:

- ALL AREAS DISTURBED BY CONSTRUCTION THAT DO NOT RECEIVE PAVEMENTS, CURBS, OR STRUCTURES, SHALL RECEIVE AMENDED SOILS PER THE SITE PREPARATION DETAILS ON THE LANDSCAPE PLANS. SEE SHEET L-301 DETAILS 1 THROUGH 3.
- VEGETATION FROM CLEARING AND GRUBBING OPERATIONS MUST BE REMOVED OFF-SITE AND DISPOSED OF IN AN APPROVED FACILITY.
- EXISTING TOPSOIL STRIPPINGS MAY BE STOCKPILED ON-SITE WITHING THE LIMIT OF DISTURBANCE FOR RE-USE ON-SITE ONLY IF THE CONTRACTOR SUBMITS THE FOLLOWING:
 - LABORATORY TESTING SHOWING THE EXISTING TOPSOILS MEET THE IMPORT TOPSOIL SPECIFICATION SECTION 32 9250.
 - IN ADDITION TO LABORATORY TESTING, CONTRACTOR SUBMITS A PLAN FOR AMENDING EXISTING TOPSOILS TO MEET THE IMPORT TOPSOIL SPECIFICATION NOTED ABOVE.

BCRA STORM DRAINAGE NOTES:

- ALLOWABLE GRAVITY STORM DRAINAGE CONVEYANCE PIPES AND FITTINGS (STORM DRAIN LINE/ROOF DRAIN LINE) CONFORMING TO WSDOT STD. SPEC. 7-04. THE FOLLOWING MATERIALS MAY BE USED, UNLESS OTHERWISE IDENTIFIED SPECIFICALLY ON THE PLANS:
 - SOLID WALL PVC STORM PIPE AND FITTINGS (PVC). MINIMUM COVER SHALL BE 3.00'.
 - CORRUGATED POLYETHYLENE STORM SEWER PIPE AND FITTINGS (CPEP). MINIMUM COVER SHALL BE 2.00'.
 - DUCTILE IRON SEWER PIPE AND FITTINGS, CLASS 52 (DI). MINIMUM COVER SHALL BE 1.00'.
- ALLOWABLE UNDERDRAIN PIPES AND FITTINGS (FOOTING DRAIN LINE) CONFORMING TO WSDOT STD. SPEC 7-01:
 - PERFORATED POLYVINYL CHLORIDE UNDERDRAIN PIPE (PERF. PVC).
- INSTALL ALL ROOF DRAIN LINES AT MINIMUM 1.00% SLOPE WITH 3.00' MINIMUM COVER IN PAVED AREAS AND 1.50' MINIMUM COVER IN LANDSCAPE AREAS. ROOF DRAIN LINES TO BE 6" PVC UNLESS OTHERWISE NOTED.
- ROOF AND FOOTING DRAIN LINES ARE LOCATED ON PLANS FOR CLARITY AND ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD PRACTICE AND APPLICABLE CODES.
- ALL STORM DRAINAGE AND ROOF DRAIN LINE CLEANOUTS MUST COMPLY WITH THE CLEANOUT DETAIL.
- ALL CATCH BASINS ARE TO BE SITUATED SUCH THAT THE OUTSIDE EDGE OF GRATE FRAME IS AT TOE OF CURB OR FLOW LINE OF GUTTER (WHERE APPLICABLE).
- STATION AND OFFSET CALLOUTS FOR STORM ARE TO CENTER OF STRUCTURE.
- PIPE LENGTHS NOTED ON THE PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- INSTALL ALL STORM DRAINAGE CATCH BASINS AND MANHOLES IN PAVED AREAS FLUSH WITH PAVEMENT. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISHED GRADE. LIDS SHALL BE LABELED "STORM."
- PROVIDE CATCH BASINS AND MANHOLES IN ACCORDANCE WITH WSDOT STD. SPEC. 7-05.
- PROVIDE, INSTALL AND TEST ALL STORM DRAINAGE SYSTEMS IN ACCORDANCE WITH WSDOT STD. SPEC. 7-04 AND THE TRENCH SECTION DETAIL.

BCRA GRADING NOTES:

- ADA COMPLIANCE:
 - SHALL BE IN ACCORDANCE WITH CFR 28, PART 35;
 - FOR WORK IN THE RIGHT-OF-WAY, CFR 28, PART 35 SHALL BE SUPPLEMENTED BY THE PUBLIC WORKS RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - ALL SITE IMPROVEMENTS SUBJECT TO THE AMERICAN WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN SHALL MEET THE FOLLOWING MAXIMUM SLOPES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND REPLACE IMPROVEMENTS OUT OF COMPLIANCE WITH THE ADA STANDARDS.
- THE FOLLOWING MAXIMUM SLOPES SHALL NOT BE EXCEEDED UNLESS NOTED ON THE PLAN AS A "MAXIMUM EXTENT FEASIBLE" (MEF) LOCATION:
- LONGITUDINAL/RUNNING SLOPE OF WALKWAYS AND CROSSWALKS: 5.00%
 - CROSS SLOPE OF SIDEWALK: 2.00%
 - LONGITUDINAL/RUNNING SLOPE OF RAMP: 8.33%
 - CROSS SLOPE OF RAMP: 2.00%
 - LONGITUDINAL/RUNNING SLOPE OF LANDING: 2.00%
 - CROSS SLOPE OF LANDING: 2.00%
 - TOP OF CURB SLOPE AT RAMP FLARE: 10.00%
 - FLOW LINE SLOPE AT PEDESTRIAN CROSSING: 2.00%
 - ADA PARKING STALL: 2.00% IN ANY DIRECTION
 - ADA PARKING ACCESS AISLE: 2.00% IN ANY DIRECTION
- REFER TO GEOTECHNICAL ENGINEERING REPORT BY SEMRAU ENGINEERING & SURVEYING, PLLC DATED 12/17/2021 FOR INFORMATION ON EXISTING SITE CONDITIONS AS WELL AS SITE AND SOIL REQUIREMENTS FOR THIS PROJECT.
 - THE SPOT ELEVATIONS INDICATED ON THIS PLAN REPRESENT THE DESIGN TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
 - ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURES, VALVE BOXES, VAULT LIDS AND UTILITY ACCESS STRUCTURES THAT WILL BE PRESERVED TO FINISHED GRADE WITHIN AREAS AFFECTED BY CONSTRUCTION.

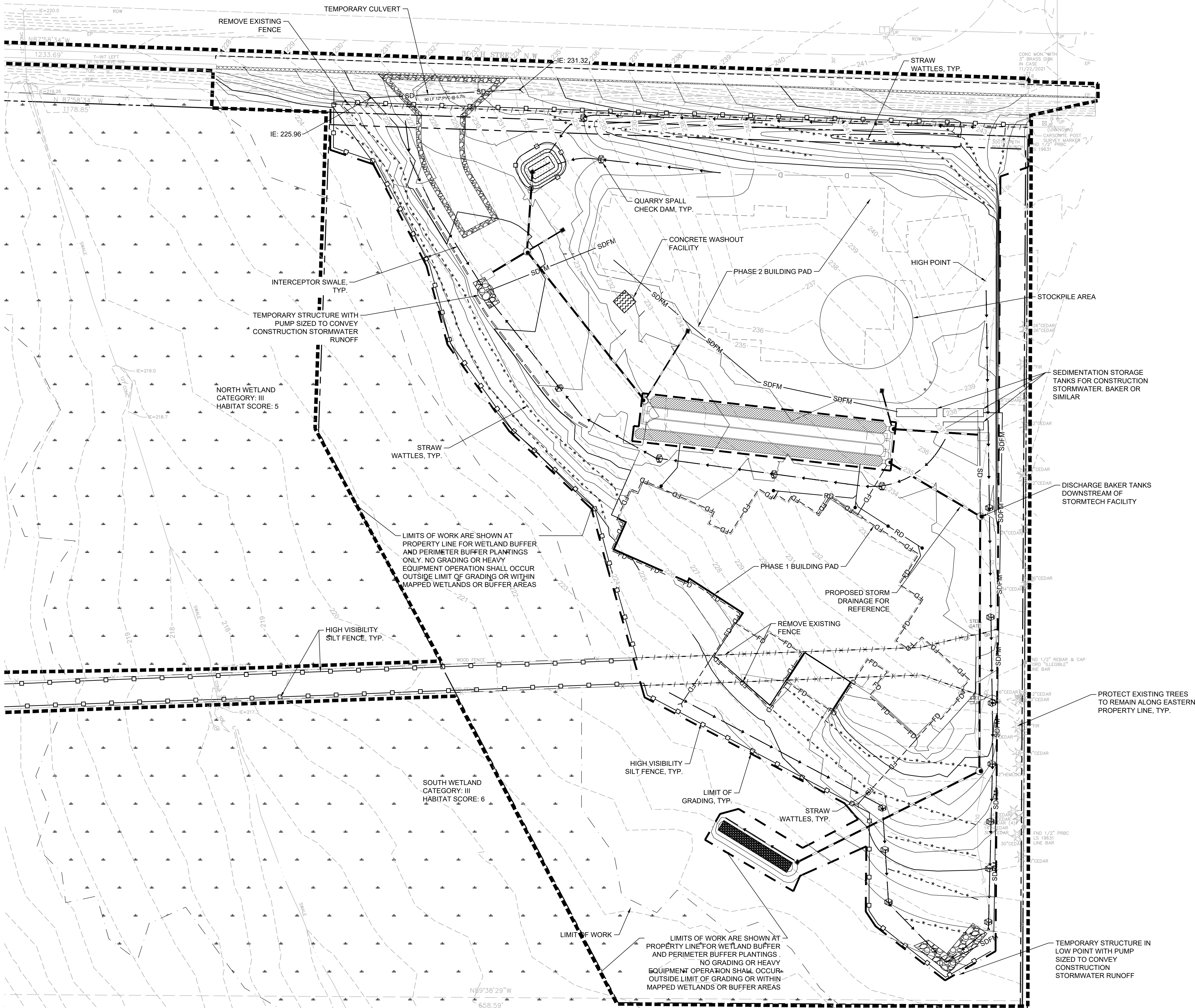


PROJECT: RESIDENTIAL TREATMENT FACILITY NORTH
29901 & 29919 60TH AVE NW
STANWOOD, WA 98292

REVISIONS	

DATE	06.24.2022
BCRA NO.	21031
DRAWN BY: RJB	DESIGNED BY: MB
REVIEWED BY: ZMC	
SHEET TITLE	GENERAL NOTES

SECTION 18, TOWNSHIP 32 NORTH, RANGE 4 EAST



DEMOLITION AND TESC LEGEND

- LIMIT OF WORK
- LIMIT OF GRADING
- CONSTRUCTION ENTRANCE
- TEMPORARY SWALE
- ROCK CHECK DAM
- HIGH VISIBILITY SILTATION FENCE
- STRAW WATTLE
- REMOVE EXISTING FENCE
- SD --- TEMPORARY STORM LINE/CULVERT
- SDFM --- TEMPORARY STORM FORCE LINE
- SEDIMENTATION TANKS
- BUILDING PAD

RECOMMENDED BMP SEQUENCE OF CONSTRUCTION

NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, CONCRETE WASHOUT, MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE EROSION AND SEDIMENT CONTROL (ESC) PLANS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

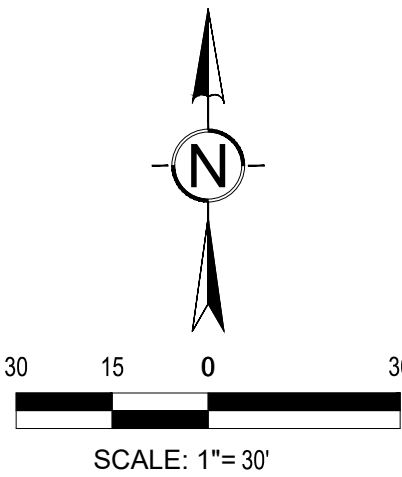
NOTE: PERMITTING THROUGH WASHINGTON STATE DEPARTMENT OF ECOLOGY (WA DOE) IS REQUIRED FOR CHEMICAL TREATMENT.

THE RECOMMENDED CONSTRUCTION SEQUENCE INCLUDES THE FOLLOWING STEPS IN THIS ORDER. HOWEVER, SOME PORTIONS OF EH STEPS MAY BE PERFORMED OUT OF SEQUENCE AS CONDITIONS REQUIRE.

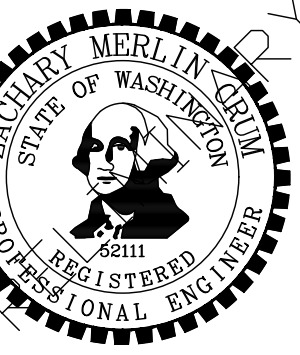
1. STAKE AND FLAG LIMITS OF DISTURBANCE.
2. INSTALL TREE PROTECTION PER LANDSCAPE PLANS.
3. INSTALL INLET PROTECTION AND CONSTRUCTION ENTRANCE AND EXIT.
4. INSTALL SILT FENCES AND INTERCEPTOR SWALES.
5. INSTALL TEMPORARY PUMP WELL STRUCTURES AND FORCE STORM DRAIN ASSOCIATED WITH DISCHARGE OF SEDIMENTATION TANKS.
6. BEGIN ROUGH GRADING OF THE SITE.
7. INSTALL UNDERGROUND UTILITIES.
8. INSTALL STORM DRAIN PIPES AND CATCH BASINS.
9. INSTALL STORMTECH FACILITY, BIORETENTION CELL, AND MODULAR WETLAND VAULTS. SEDIMENT LADEN CONSTRUCTION STORM WATER SHALL NOT BE ROUTED TO PROPOSED FACILITIES UNTIL THE SITE AND ALL UPSTREAM AREAS ARE FULLY STABILIZED.
10. FINE GRADE AND PAVE SITE PER PLANS.
11. PERMANENTLY STABILIZE SITE ACCORDING TO LANDSCAPE PLANS.
12. REMOVE ALL ACCUMULATED SEDIMENT/DEBRIS IN STORM SYSTEM.
13. REMOVE TESC MEASURES AFTER SITE IS PERMANENTLY STABILIZED PER LANDSCAPE PLANS.
14. CONTINUE DISCHARGE MONITORING REPORTS WITH WASHINGTON STATE DEPARTMENT OF ECOLOGY (WA DOE) UNTIL SITE IS FULLY STABILIZED AND SUBMIT NOTICE OF TERMINATION TO WA DOE.

LIMITS OF WORK GENERAL NOTE:

LIMITS OF WORK ARE SHOWN AT PROPERTY LINE FOR WETLAND BUFFER AND PERIMETER BUFFER PLANTINGS. NO GRADING OR HEAVY EQUIPMENT OPERATION SHALL OCCUR OUTSIDE LIMIT OF GRADING OR WITHIN MAPPED WETLANDS OR BUFFER AREAS



SNOHOMISH COUNTY PROJECT FILE NO: 22 102230 CUP



PROJECT: RESIDENTIAL TREATMENT FACILITY NORTH

29901 & 29919 80TH AVE NW
STANWOOD, WA 98292

REVISIONS

NO.	DESCRIPTION

DATE: 06.24.2022

BCRA NO: 21031

DRAWN BY: RJB DESIGNED BY: MB

REVIEWED BY: ZMC

SHEET TITLE: DEMOLITION AND TESC PLAN

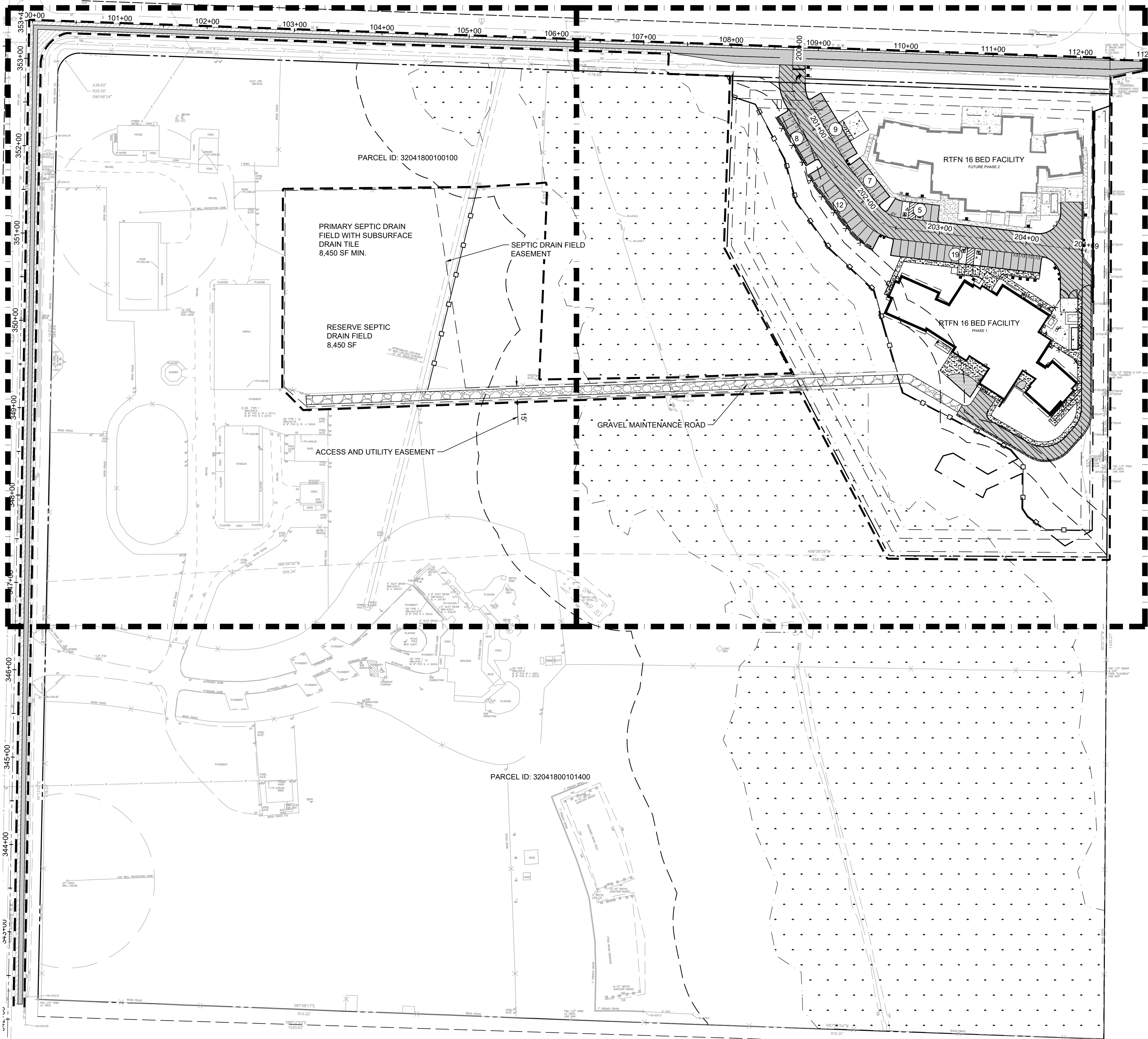
bcra
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C-101

LAND USE SUBMITTAL

VIEW SHOWN ON SHEET C-401

VIEW SHOWN ON SHEETS C-201, C-301, C-302, AND C-402.



SITE AND SURFACING LEGEND

- PROPERTY/BOUNDARY LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- ACCESS EASEMENT
- ROAD CENTERLINE
- BUILDING FOOTPRINT
- ASPHALT PAVEMENT
- CEMENT CONCRETE SIDEWALK
- CEMENT CONCRETE PAVEMENT
- GRAVEL SURFACING
- CEDAR SPLIT RAIL FENCE
- NUMBER OF PARKING STALLS PER ROW
- SIGN
- PRECAST CONCRETE WHEELSTOP
- LIMITS OF WORK
- LIMITS OF GRADING

SITE INFORMATION

- SITE AND ALL ADJACENT SITES ARE DESIGNATED FEMA FLOOD HAZARD ZONE X.
- NOT A CRITICAL AREA SITE PLAN.
- NOT LOCATED WITHIN A CRITICAL AQUIFER RECHARGE AREA.
- PARKING REQUIREMENTS DETERMINED BY THE DEPARTMENT BASED ON COMPARABLE USES.
- ZONING: R-5

PROJECT PARKING REQUIREMENTS:

STANDARD STALLS: 28 PER BUILDING
ADA STALLS: 2 PER BUILDING
TOTAL: 60 STALLS

SITE AREAS SUMMARY

PARCEL AREA AFTER BLA	200,760 SF	4.61 AC
BUILDING FOOTPRINT AREAS	34,734 SF	0.80 AC
EXISTING IMPERVIOUS SURFACE	1,436 SF	0.03 AC

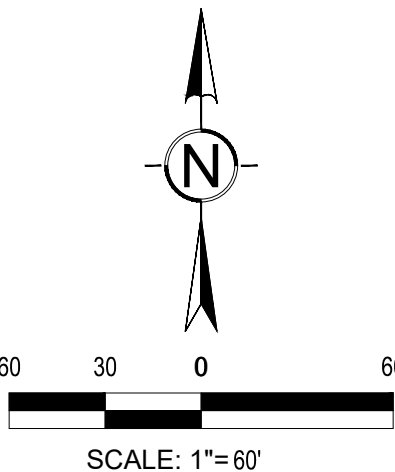
CUT/FILL SUMMARY

CUT	8,500 CY
FILL	10,000 CY
NET	1,500 CY <FILL>

TAX PARCEL: 32041800100100
SECTION 18, TOWNSHIP 32 NORTH, RANGE 4 EAST

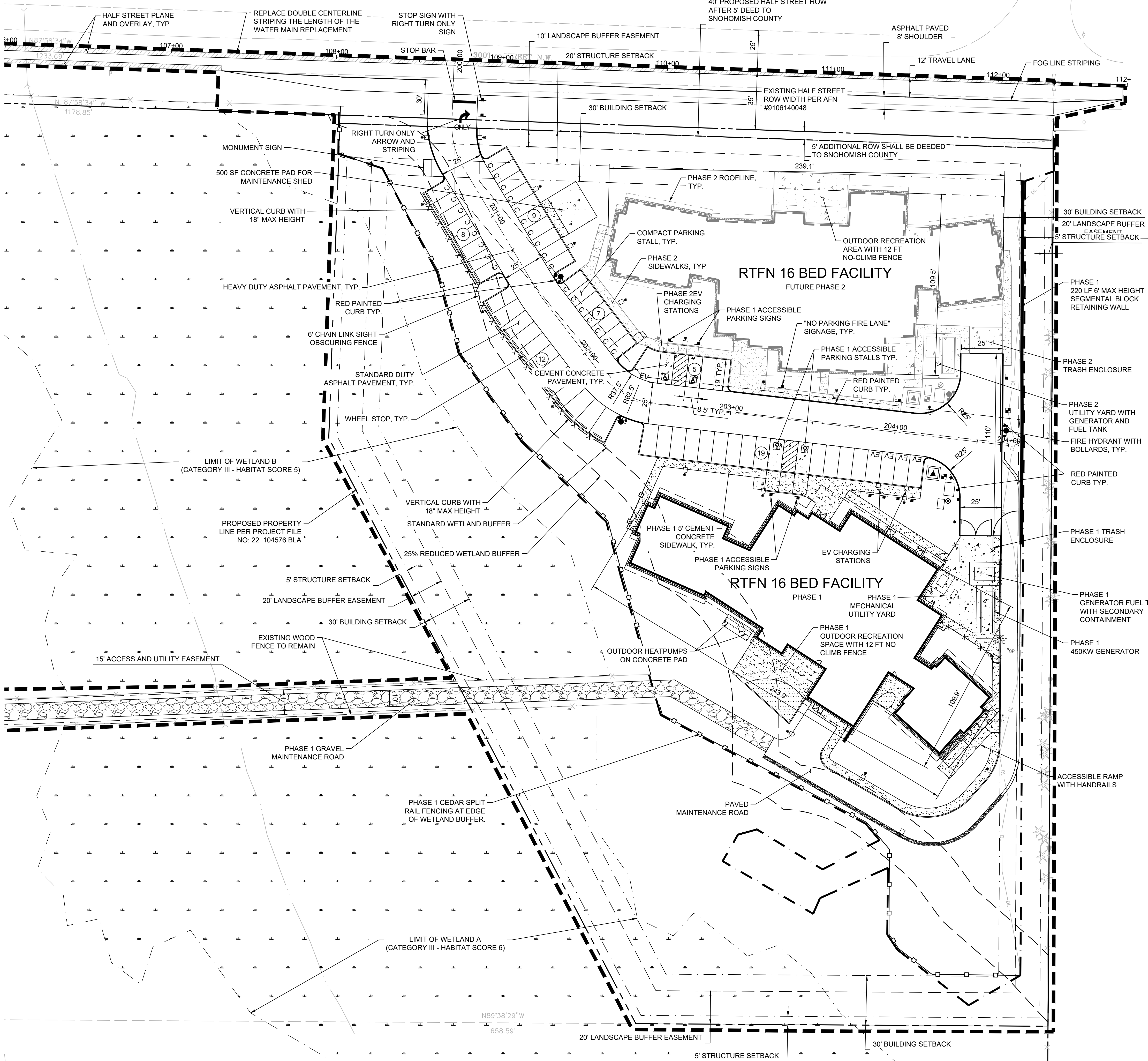
LIMITS OF WORK GENERAL

NOTE:
LIMITS OF WORK ARE SHOWN AT
PROPERTY LINE FOR WETLAND BUFFER
AND PERIMETER BUFFER PLANTINGS. NO GRADING OR HEAVY
EQUIPMENT OPERATION SHALL OCCUR
OUTSIDE LIMIT OF GRADING OR WITHIN
MAPPED WETLANDS OR BUFFER AREAS



DATE	06.24.2022
BCRA NO.	21031
DRAWN BY: RJB	DESIGNED BY: MB
REVIEWED BY: ZMC	
SHEET TITLE	OVERALL SITE PLAN

SECTION 18, TOWNSHIP 32 NORTH, RANGE 4 EAST

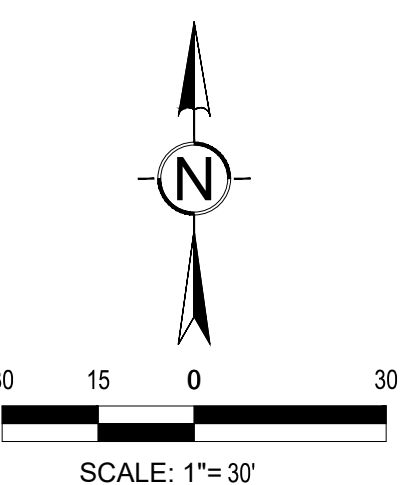


SITE AND SURFACING LEGEND

- PROPERTY/BOUNDARY LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- ACCESS EASEMENT
- ROAD CENTERLINE
- BUILDING FOOTPRINT
- ASPHALT PAVEMENT
- ASPHALT PAVEMENT - HEAVY DUTY
- GRIND AND OVERLAY
- CEMENT CONCRETE SIDEWALK
- CEMENT CONCRETE PAVEMENT
- GRAVEL SURFACING
- CEGAR SPLIT RAIL FENCE
- LIMITS OF GRADING
- NUMBER OF PARKING STALLS PER ROW
- SIGN
- PRECAST CONCRETE WHEELSTOP
- LIMITS OF WORK
- FIRE HYDRANT WITH BOLLARDS

LIMITS OF WORK GENERAL NOTE:

LIMITS OF WORK ARE SHOWN AT PROPERTY LINE FOR WETLAND BUFFER AND PERIMETER BUFFER PLANTINGS. NO GRADING OR HEAVY EQUIPMENT OPERATION SHALL OCCUR OUTSIDE LIMIT OF GRADING OR WITHIN MAPPED WETLANDS OR BUFFER AREAS



SNOHOMISH COUNTY PROJECT FILE NO: 22 102230 CUP

T 253.627.4367 F 253.627.4395 WWW.BCRADISEIGN.COM
2106 PACIFIC AVENUE, SUITE 300, TACOMA, WA 98402

SEAL

PROJECT:
RESIDENTIAL TREATMENT FACILITY NORTH
29901 & 29919 80TH AVE NW
STANWOOD, WA 98292

REVISIONS

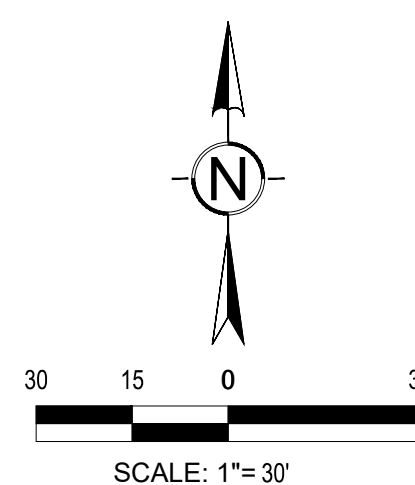
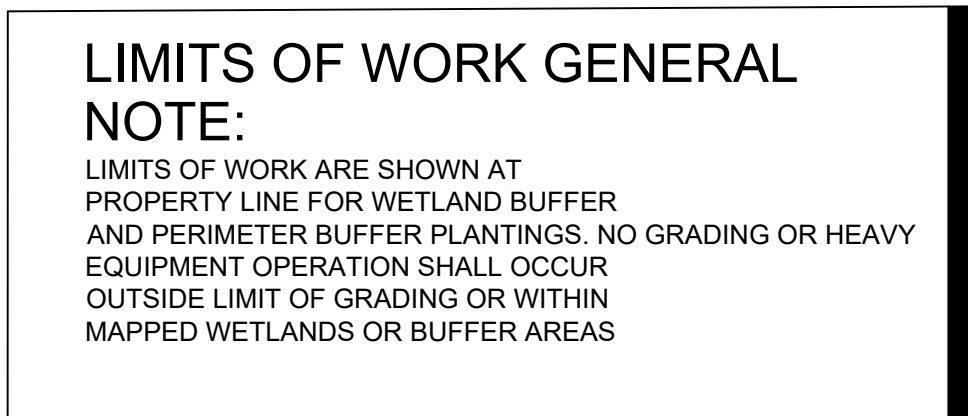
NO.	DATE	DESCRIPTION

DATE: 06.24.2022
BCRA NO: 21031
DRAWN BY: RJB DESIGNED BY: MB
REVIEWED BY: ZMC
SHEET TITLE: SITE AND SURFACING PLAN

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SHEET: C-201

LAND USE SUBMITTAL



**Know what's below.
Call before you dig.**

PROJECT

REVISIONS	
DATE	
06.24.2022	
SHEET NO.	
21031	
DRAWN BY: RJB	
DESIGNED BY: MB	
REVIEWED BY: ZMC	
SHEET TITLE	
GRADING AND DRAINAGE PLAN	

 **bcra**

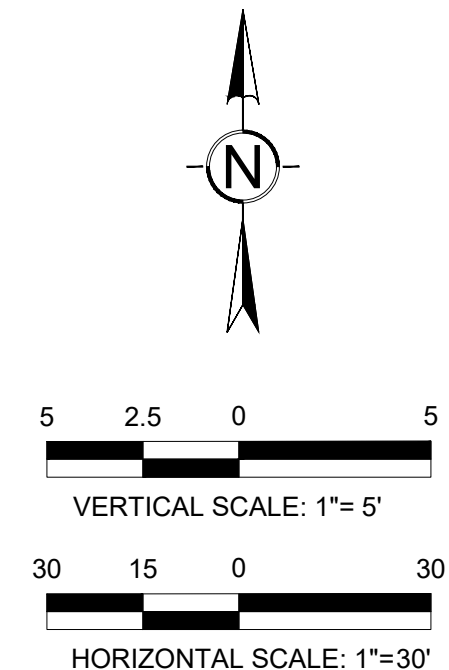
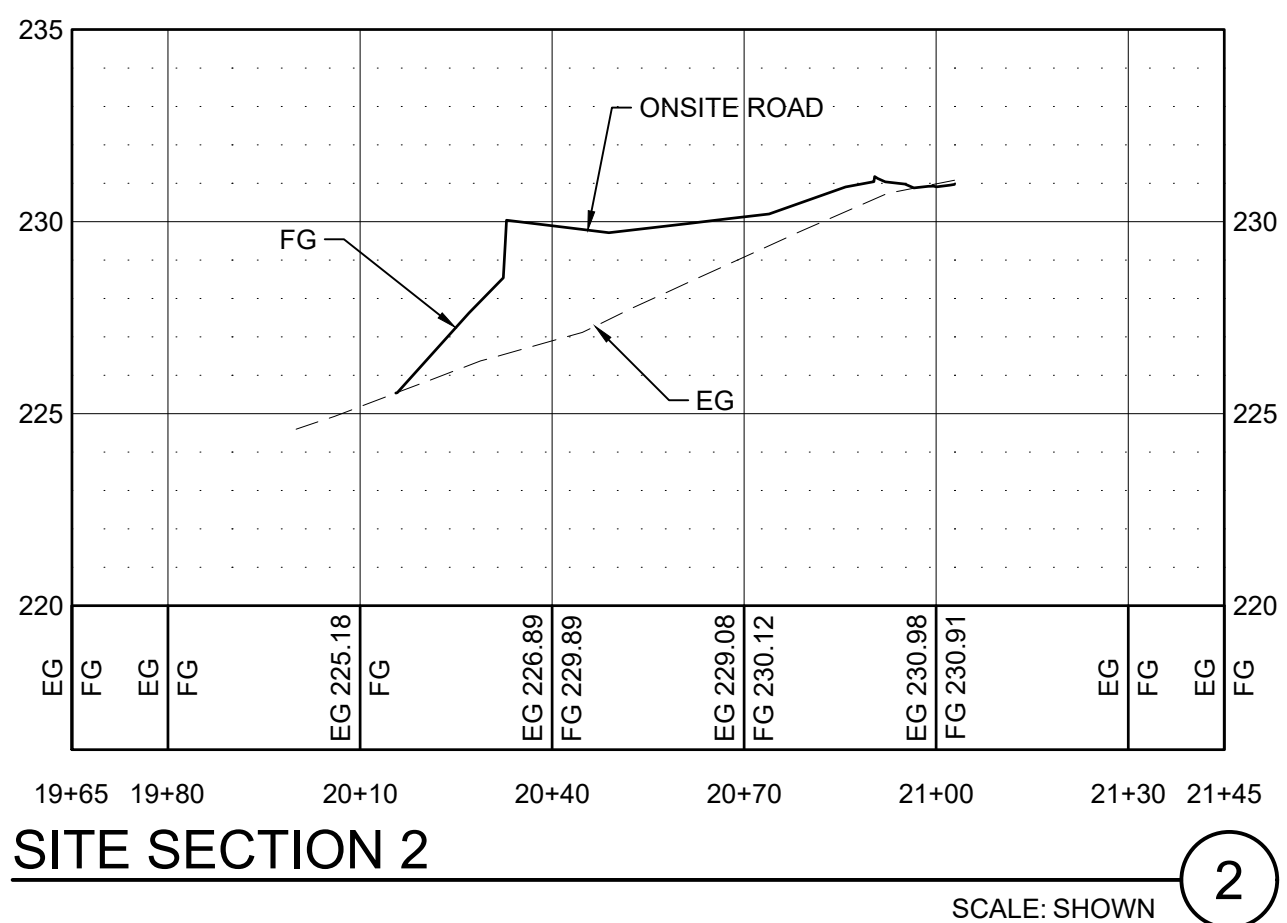
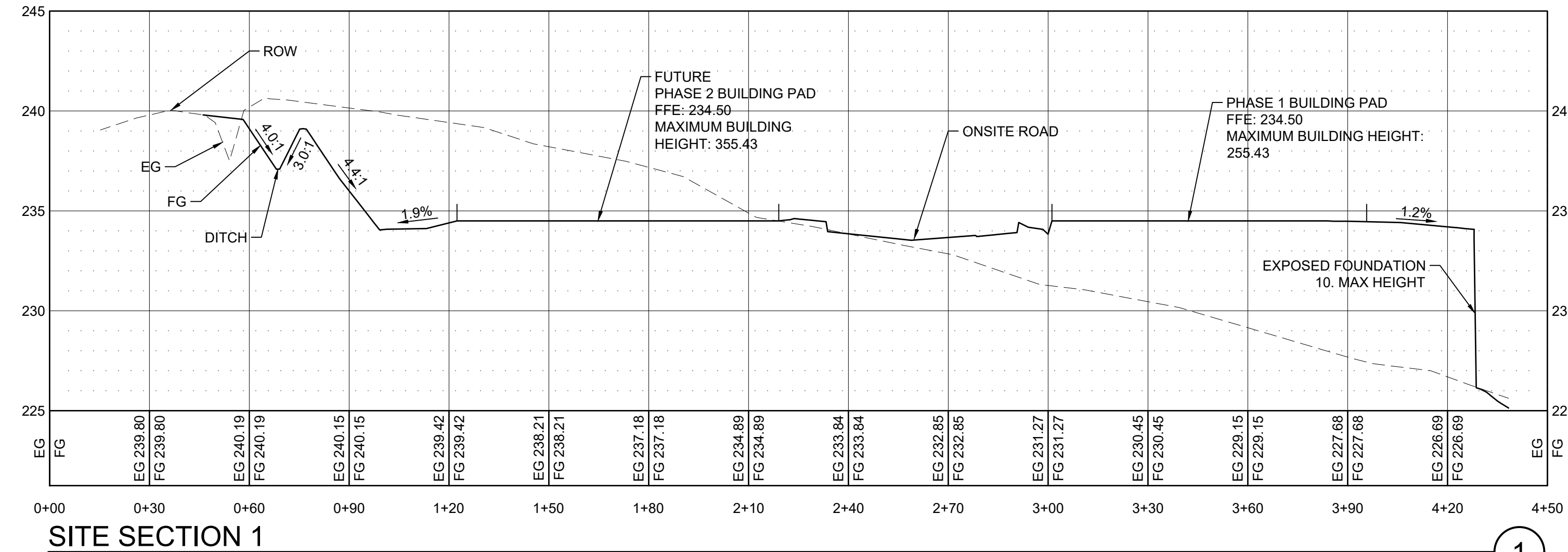
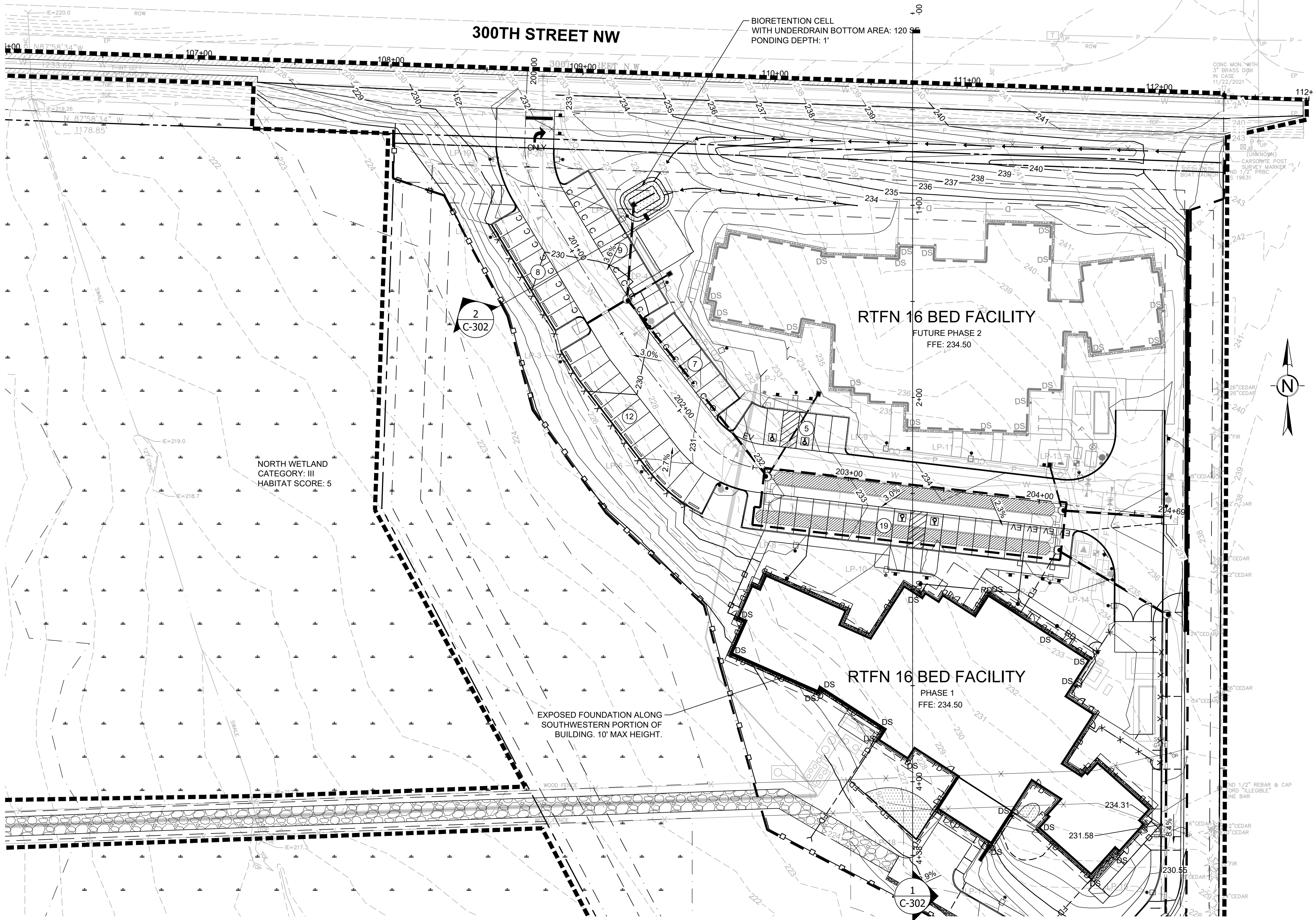
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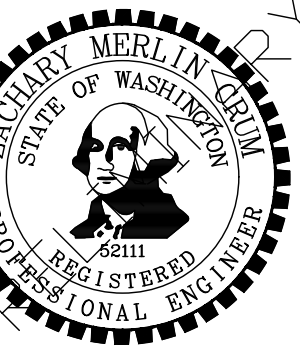
CLASIFICADO

b bcr

T 253.627.4367 F 253.627.4395 WWW.BCRADESIGN.COM
2106 PACIFIC AVENUE, SUITE 300, TACOMA, WA 98402

SECTION 18, TOWNSHIP 32 NORTH, RANGE 4 EAST



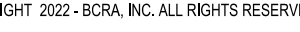
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RJB

BY: ZMC

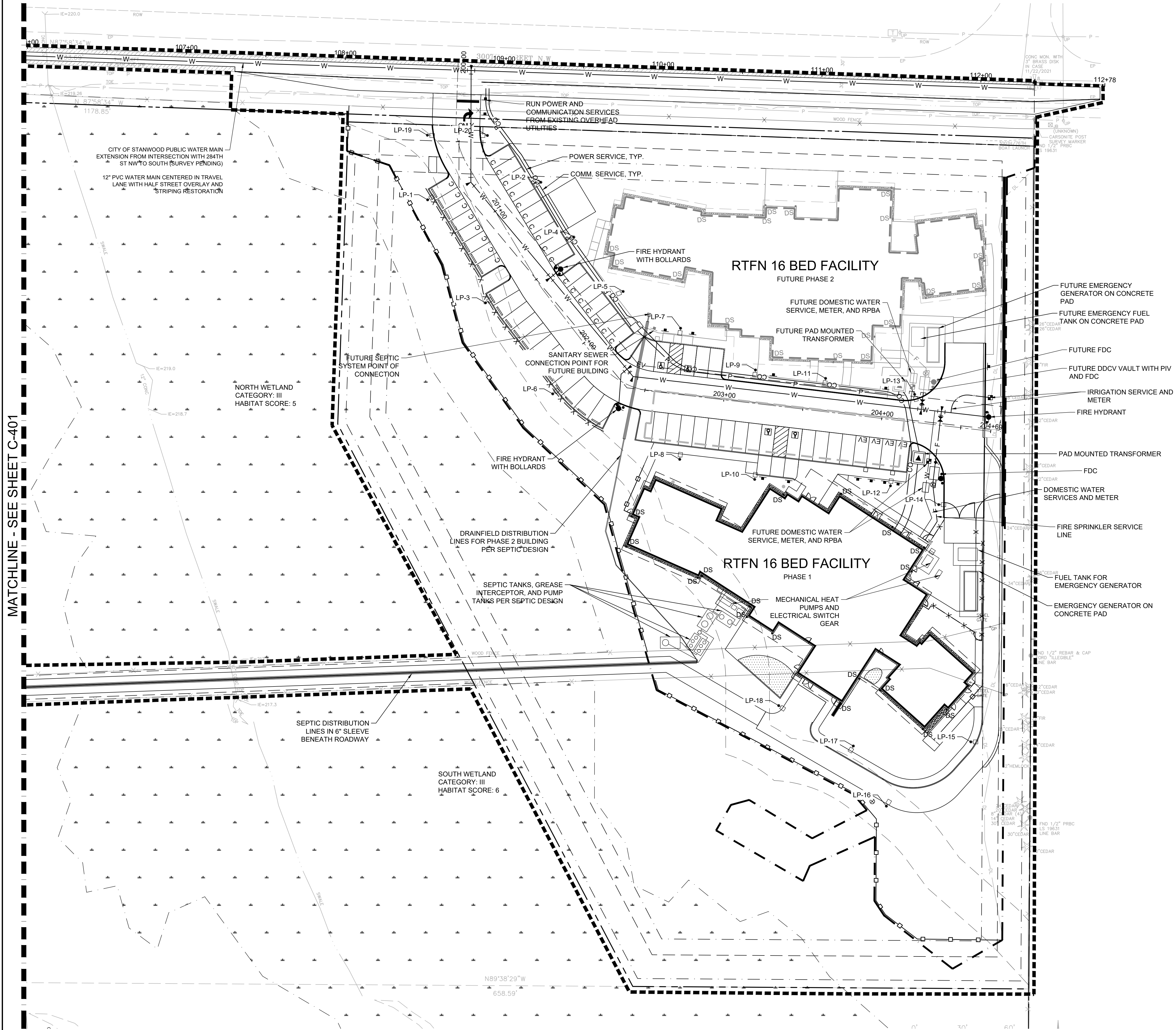
E

TY PLAN WEST



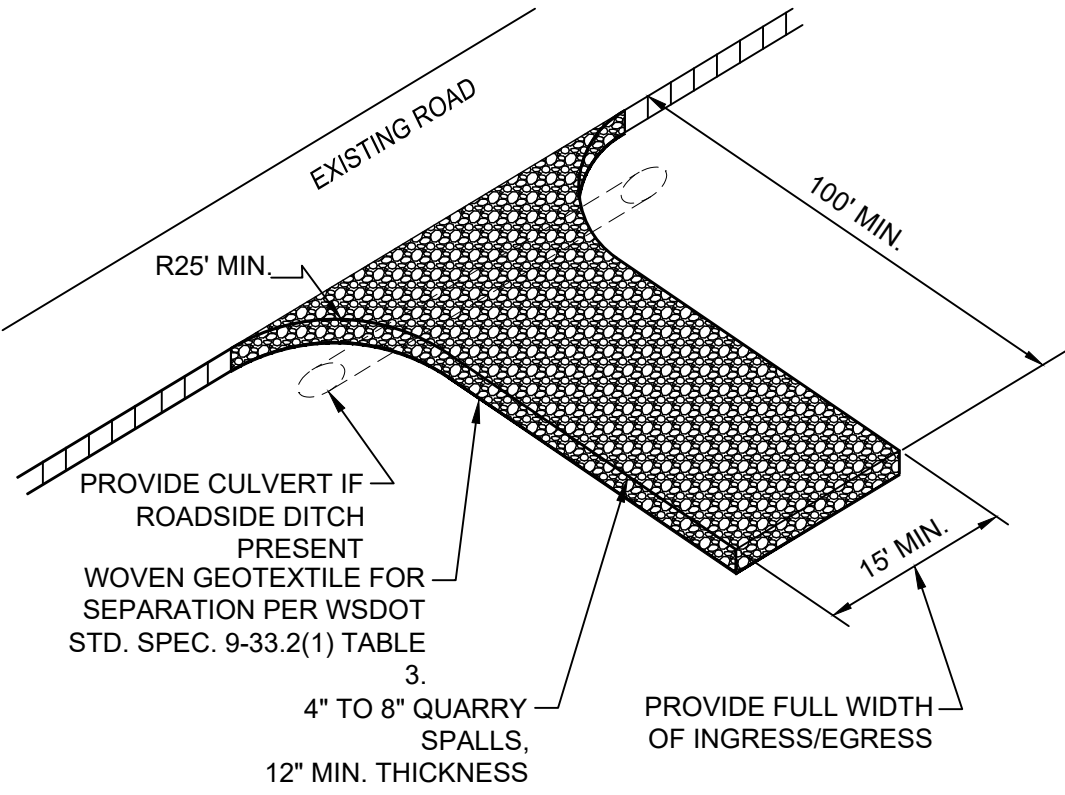
LAND USE SUBMITTAL

SECTION 18, TOWNSHIP 32 NORTH, RANGE 4 EAST

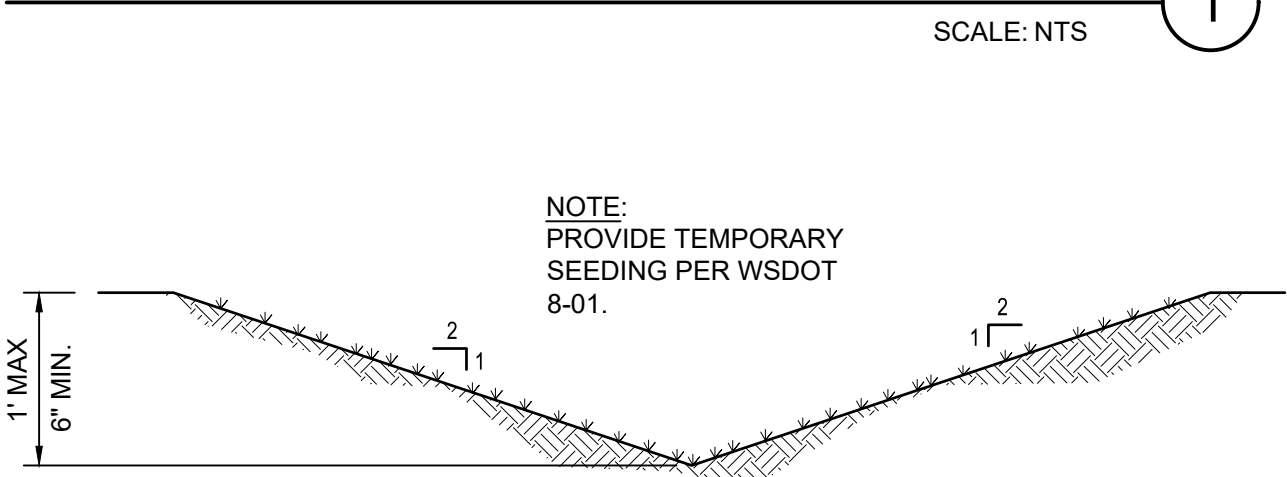


CONSTRUCTION ENTRANCE NOTES:

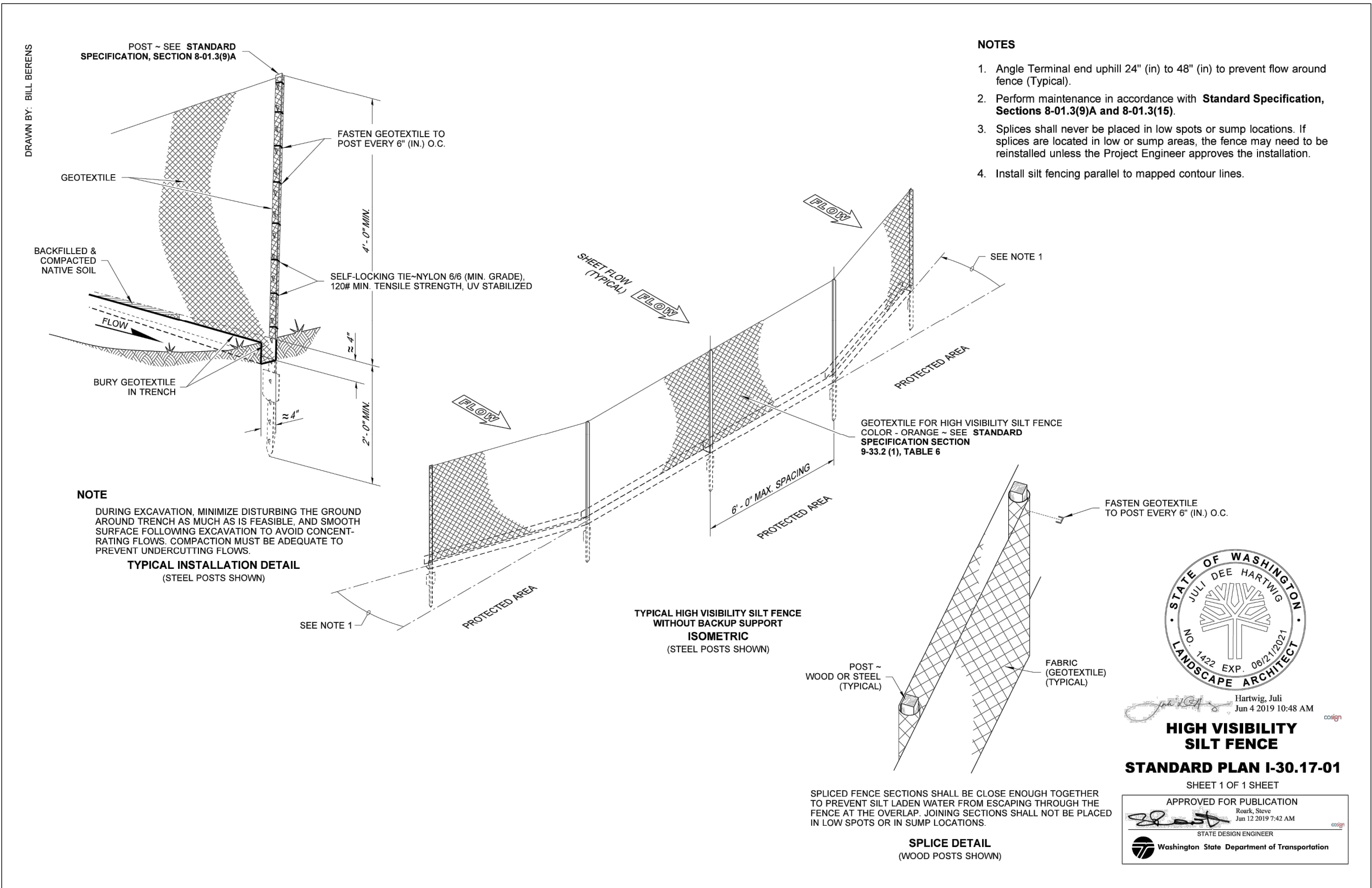
- MATERIAL SHALL BE 4-INCH TO 8-INCH QUARRY SPALLS. DO NOT USE CRUSHED CONCRETE, CEMENT OR CALCIUM CHLORIDE.
- THE ROCK PAD SHALL BE AT LEAST 12 INCHES THICK AND 100 FEET LONG. WIDTH SHALL BE THE FULL WIDTH OF THE VEHICLE INGRESS AND EGRESS AREA 15' MIN.
- ADDITIONAL ROCK SHALL BE ADDED PERIODICALLY TO MAINTAIN PROPER FUNCTION OF THE PAD.
- IF THE PAD DOES NOT ADEQUATELY REMOVE THE MUD FROM THE VEHICLE WHEELS, THE WHEELS SHALL BE HOSED OFF BEFORE THE VEHICLE ENTERS A PAVED STREET. THE WASHING SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK AND WASH WATER SHALL DRAIN TO A SEDIMENT RETENTION FACILITY OR THROUGH A SILT FENCE.



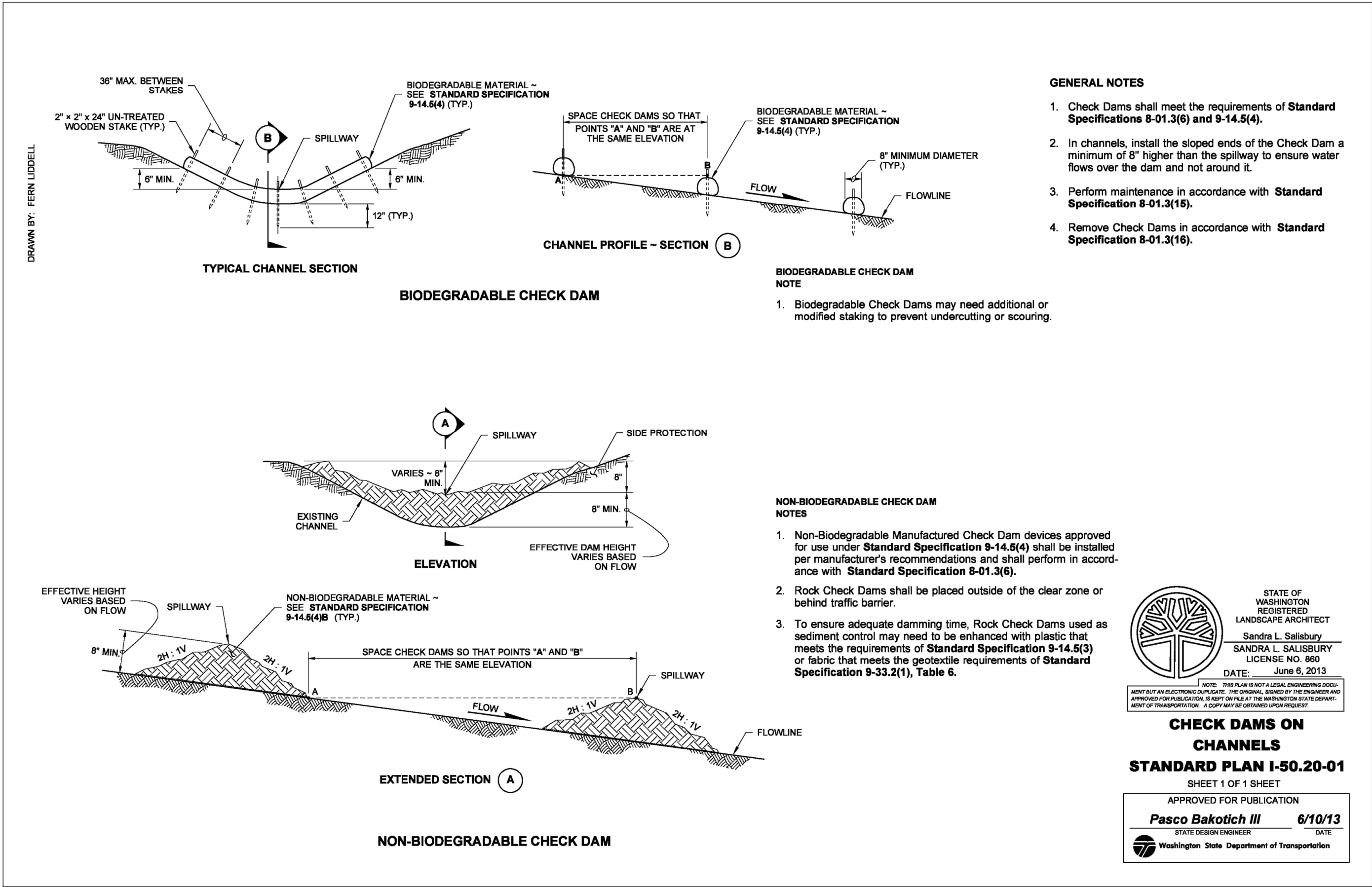
CONSTRUCTION EXIT



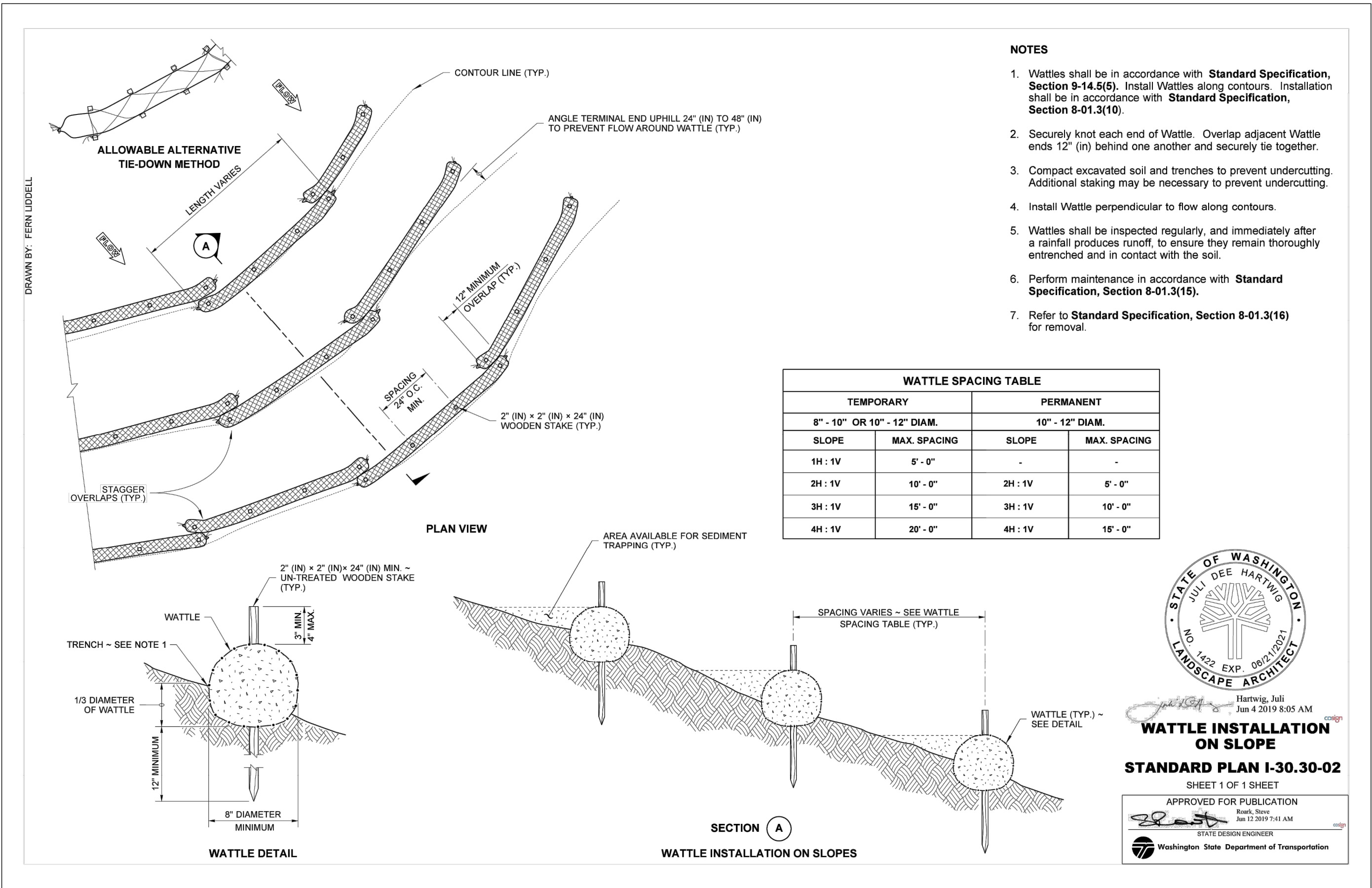
TEMPORARY INTERCEPTOR SWALE



HIGH VISIBILITY SILT FENCE



ROCK CHECK DAM



STRAW WATTLE